

University of South Carolina

Project Name: USC Aiken Outdoor Storage Building

Project Number: FP00000362

Project Manager: Jerry Knox

### **Addendum Number Three**

May 12, 2020

From: Hatice Hikmet

To All Bidders:

The following items add to, modify, clarify or otherwise alter the Drawings and/ or specifications and will be a part of the Contract Documents. Where a portion of the Drawings and/or specification is added to, modified or otherwise altered, the portion not so affected shall remain. Bidder shall include all effects that these items may have on this proposal.

Acknowledge receipt of this Addendum in the space provided in the Bid Form. Failure to do so may subject Bidder to disqualification.

### **Questions and Answers:**

1) Will a Aiken County Building Permit be required?. [No. Existing permit covers this work.](#)

2) Ref. Dwg. C101, "REVISIONS PER OWNER JANUARY 16, 2020" bullets - There are 9ea. tasks listed including the Storage Building. Please confirm which of these tasks are under this project.: [These note are old and should have been removed. Please ignore these notes and refer to scope of work documented in specifications. \(page 86 of 282 of.pdf document\)](#)

3) Its obvious from the drawing that the "Outdoor Storage Building" is in close proximity of the "Maintenance Building" project currently under construction. Will this project start before that project is completed? [This project may start before the main building is completed. However, coordination will be needed with USC Aiken and General Contractor of main facility.](#)

4) Ref. Dwg. C102.1 - Will all of the site work be completed under the "Maintenance Building" contract and therefore we can base our bid on the **finish** elevations shown? [Additional grading will be required to get the building pad to sub-grade. Please refer to the updated civil drawing C102.1](#)

5) Ref. Dwgs. A302 & S103 - I have not found a building width dimension. Please clarify. Building width Dimension are shown on A302 (reference column to column dimensions and wall section 8). [Coordinate dimension with metal building manufacturer](#)

6. [Remove the black vinyl coated chain link fencing between bays shown on A302. This is not need.](#)

7. Please note that some drawings may refer to details and notes associated with original maintenance building. Please only use details and notes associated with storage building.

8. Reference Detail 8 on page A302 indicates splash blocks. Scope and site plans indicate underground drainage to pond. Please clarify. No splash pad is needed. There will be drainage to pond as described on scope and site plan document.

9. Will there be grading work required for the Outdoor Storage Building? Yes. Additional grading will be required to get the building pad to sub-grade. Please refer to the updated civil drawing C102.1

10. It appears that the finished floor elevation of the building pad should be 335.5 ft.? It designates 337.5 ft. on drawing C101. Please confirm. Finish floor elevation has been modified. Reference updated civil drawing C102.1

11. Will the spot elevations along the north and west sides of the Service Lot asphalt pavement be adjusted to an elevation of 335.5 ft. to match the elevation of the Outdoor Storage Building? Yes. Reference updated civil drawing C102.1

12. Will the Grate inlet elevations in the Service Lot need to be adjusted for account for asphalt pavement spot elevation adjustments? Reference updated civil drawing C102.1

13. The 20'x20' Wash Pad specified on page 86 of the project specifications is shown on the architectural drawing A101. Will this abut the Outdoor Storage Building at the same finished floor elevation? The location is not shown on the civil drawings. Yes. Wash pad is to be included and abut the storage building. Reference updated civil drawing C102.1

14. Will a gate be required between the 8' high chain link fence surrounding the Service Lot to the Wash Pad? If so, what size? Yes an 8 foot high chain link gate is needed to surround the wash pad. Provide an 8 foot gate with associated posts and lockable latch.

15. Fencing is designated between the Outdoor storage Building bays on drawings A302; however, scope of work on page 86 of the project specifications designates to exclude this fencing. Please verify the fencing between the bays is to be excluded from this project. . Fencing shown between the building bays is to be excluded from the project. Specification note the bottom of page 86 of the specifications is correct to excluded this scope of work.

16. There is a curb section shown on architectural drawing A302 for what appears to be for spill containment for the fuel tanks. Does the scope of work on page 86 of the project specifications apply to this detail? Yes. A curb will be needed for the 2 fuel tanks supplied by owner. Curb to be 6"high by 6" wide.

- a. If so, how often are epoxied dowels on center and at what embedment? Provide #5 rebar epoxy dowels at 16" o.c. with 4 inch embed depth into slab.
- b. What type of water stop is required at this curb location? Provide a butyl rubber water stop from BoMetals, Inc. HydroStrip HS-302NS or equal.
- c. Will the floor within the containment area be sloped at ¼" per foot per the curb section shown on drawing A302, or will it be flat. It will be flat. If sloped, please provide a layout of the sloped floor. N/A If sloped, is there a drain within the containment area? No drain is required. If there is a drain, what is the specification for the piping,

valves, and location?. No drain is required. NO slope is required. Inside containment berm should be flat.

- d. What bay within the Outdoor Storage Building will the fuel tanks and containment curb be located in? The curb and Fuel tanks will be located in the east bay of the short leg of the building.

17. Please specify the location of the electrical conduit stub up within the Outdoor Storage Building from the Maintenance Building? Will the Maintenance Building Contractor stub up in one location with pull rope in each conduit? The Maintenance Building Contractor will extend 6 each 2" conduits (2 each from the Elec/Data Room # 113 and 4 each from Electrical Room #125) to the Northeast most corner of the Outdoor Storage Building on the outside of the building end wall. Bidders are to cap conduits not to be utilized for this project. Bidders to extend required conduits to proposed devices inside the Outdoor Storage Building per the Electrical Drawings.

18. Are we responsible for the additional conduit to the Outdoor Storage Building lighting, switches, outlets and fuel dispensing equipment and associated wiring is to be pulled to the designated circuits within panels EM and EQL within the Maintenance Building as noted on electrical drawings E003 & E604? ? Yes. Please note that the conduit from the Maintenance Building Electrical Room 125 to the Northeast most corner of the Outdoor Storage Building on the outside of the building end wall will be provided by the Maintenance Building Contractor. Bidders for this project are to utilize the conduits back to Maintenance Building Electrical Room 125 to pull their wire and terminate to panels EM and EQL.

19. Are we responsible for the breakers in these panels? Spare single pole 20 Amp breakers are provided within panels EM and EQL. Bidders are to include breakers for any equipment or devices requiring more than a single pole 20 AMP breaker within these panels. If so, what if the manufacturer of the panels and breakers within the Maintenance Building? Panel EM is a 277/480V three phase Square D panel and require EGB breakers. Panel EQL is a 120/208V three phase Square D panel and require QOB breakers.

20. Drawing E003, note #3 of the Gas Dispensing Area specifies: Provide a red, mushroom type, pushbutton station and locate in the Main Office Room 102 as directed by the Owner. Connect to Master shut-off all power around Gas Dispensing Station. Final connections and arrangements as directed by the Owner. Note #6 states: Route two conduits to Sec./Rec/ Room 102. Stub up below front desk in room 102. Final location as directed by the Owner for power and communication services associated with Gas Dispensing System and Pump

A. Please verify if conduit and wiring is required to Sec. / Rec. Room 102 as noted on the drawings for emergency shut off and communication is required? No. We will not have conduit and wiring to the Sec./Rec. Room 102 for emergency shut off and communication system If so, please specify location of stub ups and communication system requirements Emergency shutoff for gas dispensing equipment shall be located in a NEMA 3 rated enclosure at the third column from the Eastmost Outdoor Storage Building end wall. Bidders to include conduct, NEMA rated enclosure, red mushroom head push button within the enclosure, and signage above the enclosure stating "Fuel System Emergency Shutoff". No communication system is required for this project back to the Maintenance Building.

21. Can USC provide the power requirements for the fuel pump station equipment, or should we arrange a site visit to confirm? Please arrange a site visit to confirm power requirements for the fuel

dispensing system. Bidders are to quote the Class 1 Division 2 requirements as noted on Electrical drawing E003

22. Will USC Aiken relocate the fuel tanks and pumps to the project site and set in place? [Yes, USC Aiken will install the tank and pumps at the site.](#)

23. Will USC issue a work permit for this project? [NO, the existing permit covers the work at this site. A copy of the work permit will be provided to successful bidder.](#)

24. Will inspections be provided through USC's 3<sup>rd</sup> party inspection agency? [Inspections will be self-performed by USC Aiken staff.](#)

25. The drawings show IBC2015 building code... Does this project fall under 2015 or IBC2018 building codes? [IBC 2015](#)

26. Corresponding with that, the loads appear incorrect for seismic, if we are working under IBC18 can this be confirmed? [Work under IBC 2015](#)

27. Columns are drawn straight, but I can't find anything that says they are REQUIRED to be straight. Can you confirm if tapered is ok? [Tapered is ok.](#)

28. What type of roof panels are to be used with this building the spec does not specify? [Wall panels are to be 24 GA. PDR and colored blue to match adjacent building. Roof panel is to be 24 GA VS-215 16inch wide architectural panel white.](#)

28. Specs have verbiage in there for the weather tight warranty. Does that apply to this building, as it is an open structure on one side? (Manufactures will not warranty weather tight at all if a screw-down roof is used). [Weather tight definition in the specification does not apply to this storage building.](#)

29. What is meant by "cover trim" being required at exposed corners... what type of trim, and where, exactly? All the high-side columns appear to be exposed... is it at every column? [Standard jamb closure trim to be used. Yes, All high side columns are exposed.](#)

30. Is a 26ga PBR (screw down) panel acceptable for the roof/wall/soffit. [No, all panels to be 24GA.](#)

31. Are the roof/wall/soffit soffits to be pre-finished. If so, with a siliconized polyester (20 year finish) or Kynar (25 year finish)? [Yes, that shall be pre-finished with a Kynar finish.](#)

32. Is it accurate that the walls to be sheeted on the back side walls and the two end walls, and the "front" is to be completely open? [Yes that is correct](#)

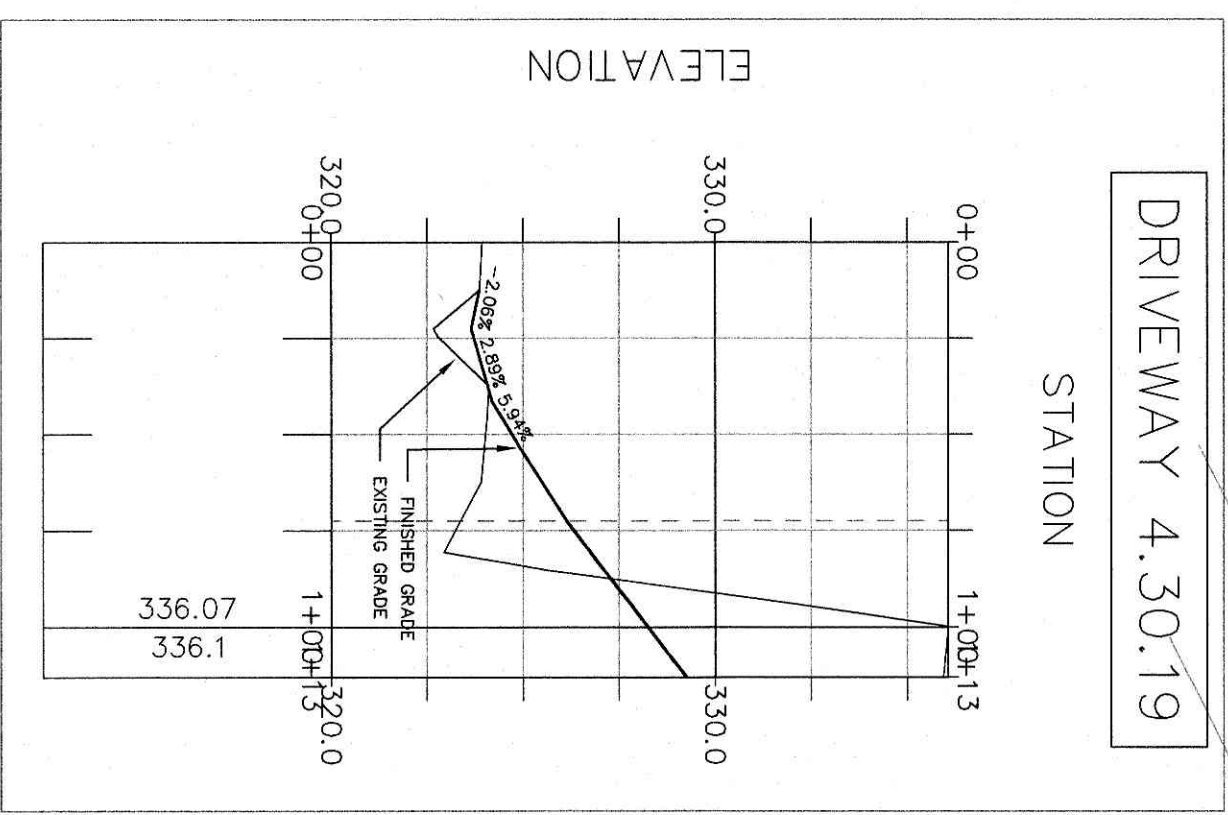
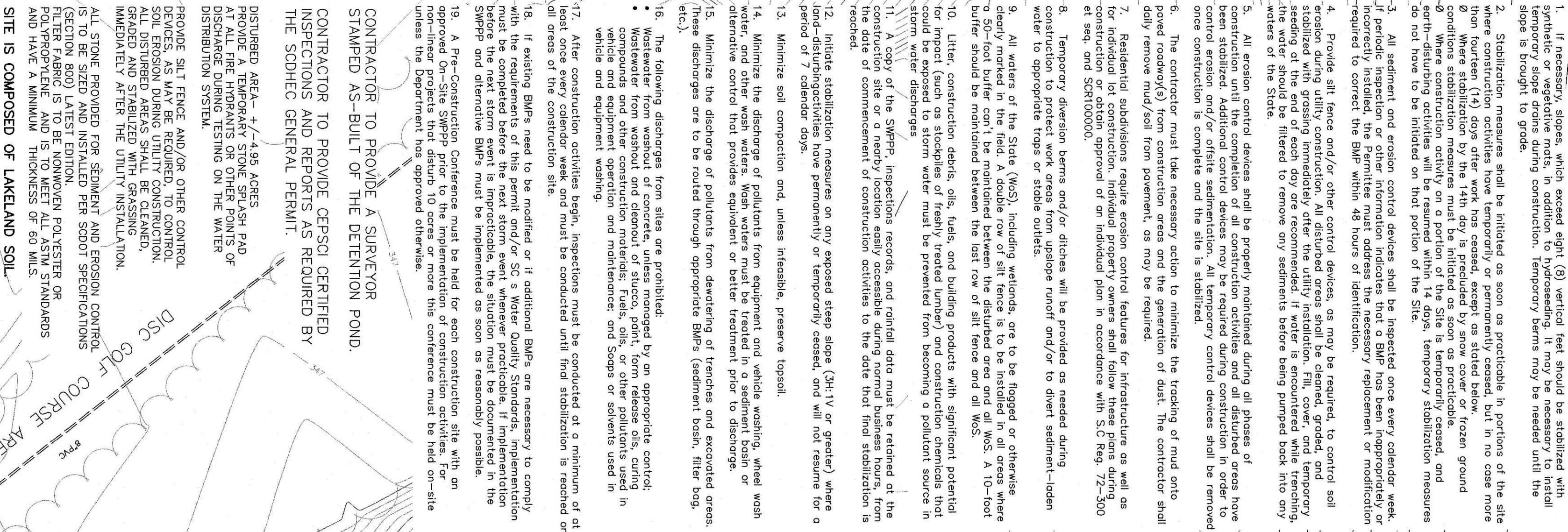
33. Are straight columns required in lieu of tapered?. [Tapered columns are OK.](#)

34. All steel building manufactures use out-to-out of steel line for building dimensions. Can you please provide a revised drawing or clarification that shows the out-to-out of steel line. The drawings currently show center-to-center of columns. [Use pre-engineered building manufacturers' standard offsets from column center line.](#)

35. Can Central Steel Building systems be approved as an equal manufacturer for the metal building manufacturers listed in the specification? Schulte Building systems are an approved alternate manufacturer that meet the specifications. <https://sbslp.com/>

Attachment: Updated Civil Drawing C102.01  
End of Addendum Three





## CONSTRUCTION SCHEDULE

Construction Start: November 2019

Final Stabilization: May 2020

[illegible]

Notes:

A. Installation of some permanent water quality devices should occur  
B. Stabilized, clean-out of other permanent water quality devices that  
during construction should occur after site stabilization  
C. Control of sediment shall be the responsibility of the contractor  
D. Confined, total time for site development is contingent upon wet  
building construction, therefore, the schedule shown is not accurate  
E. The total time involved for development of the site.

**VEGETATIVE PLAN**

All areas disturbed during construction shall be grassed according to the following specifications.

	PLAN 1	PLAN
Planting Dates	Mar. 15–Aug. 14	Aug. 15–
Lime	2.0 Tons/Ac	2.0 Tons/
Fertilizer	10–10–10	10–10–10
	0.5 Tons/Ac	0.5 Tons/
Temp. Cover	Browtop Miliel	Rye Grass
	40 lbs/Ac	40 lbs/Ac
Parm. Cover	Common Bermuda	Unhulls B
	30 lbs/Ac	60 lbs/Ac
Witch*	1.5 Tons/Ac	1.5 Tons/A

\* Must be anchored with a disk narrow to prevent blowing. Any variation from this plan must be approved by the local Conservation Service Representative.

WYM POND MAINTENANCE PLAN

The owner should maintain complete up-to-date "As-Built" plan and design specifications for the dam. Written records of maintenance and observations should be kept. Owners should make visual inspection at least twice a year—once in the summer after the melt, and once in the winter when the negative cover is dominant. Inspections are to be made on a regular basis to detect and prevent adverse conditions. Owners are encouraged to have an inspection by a registered professional engineer at least once every 5 years. The owners shall do the following:

Wheatley Park is a grassland. Proper vegetation is required on earth dams to prevent erosion, and the presence of grasses, seedling herbs, pollinating insects and vegetation maintenance is one of the most important aspects of dam management. The following are the recommended vegetation and maintenance practices for developing Earth South Carolina. Maintenance of the vegetation on the earth dam is essential to the structural integrity of the dam. The component of the dam upstream and downstream of embankment must be maintained. Mowing shall be done at least three times per year.

Stems and stubs must be done at stubs will not lie on the embankment. Stems and stubs that have grown on the embankment shall be removed. Stumps and all woody debris must be removed to about 20 inches above the ground surface.

**Tree Removal:** Annual inspection of the dam should be checked periodically and especially at the end of the growing season. Removal of trees and stumps shall be done. Periodically inspecting the trees, debris and sediment should be removed. Periodic removal of debris to prevent clogging of the spillway should be done.

[illegible][illegible]

JUNC. BOX  
TOP 354.51  
E 336.41

SMH  
TOP 207.13

I have placed my signature and seal on the design documents and the design drawings, and I certify that the design of the system is in accordance with the best of my knowledge and belief that the design is consistent with the requirements of Title 48, Chapter 14 of the Code of Laws of South Carolina, 1976 as amended, pursuant to Regulation 17A-300 et. seq. (if applicable), and in accordance with the terms and conditions of SCR10-0000.

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USC Aiken – Outdoor Storage Building  
Trolley Line Road, Graniteville, SC 29829  
UNIVERSITY OF SOUTH CAROLINA  
AIKEN, SOUTH CAROLINA

No	Description	Date
1	Outdoor Storage Building	April 6, 2020
2	ADDENDUM 2	MAY 7, 2020
3	ADDENDUM 3	MAY 11, 2020

DRAWN BY:	SLB
CHECKED BY:	HTH
COMM NO:	FP- 000000362
DATE:	April 6, 2020

**Jumper**

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**Carter**

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**Sease**

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**ARCHITECTS**

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